

ACCESSORY BUILDING (GREATER THAN 120 S.F.) INSTRUCTION PACKET

Please include the following documents with the **Accessory Building Permit Application**:

- Site Plan:** The Applicant must provide a **Site Plan** indicating the location of the *Accessory Building* in relation to Setbacks (property lines) and existing buildings.

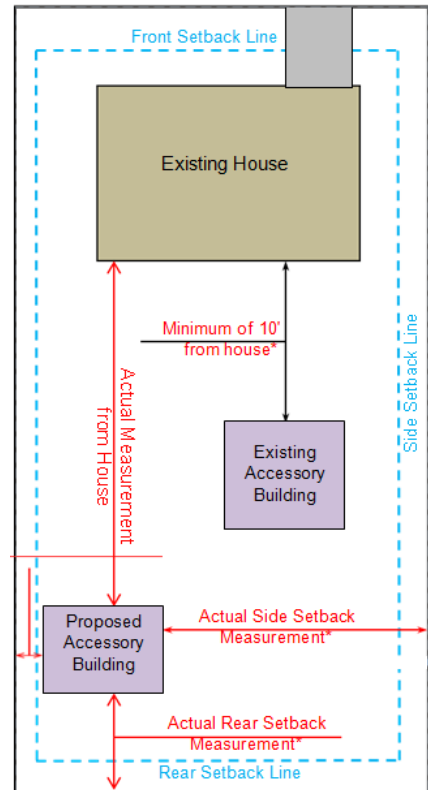
- Site Plan (or) GIS Aerial Photo

- Accessory Building Limitations:**

- *Accessory Buildings* shall not be constructed on any lot prior to the completion of the Principal Building, unless the property is zoned Agricultural (AG)
 - *Accessory Buildings* are not permitted in any required front yard

- Accessory Building Setback:**

- Setback Requirements: building must meet minimum setback limits dependent upon the associated parcel
 - Distance between buildings: Minimum distance of ten (10) feet
 - Height: Maximum side wall height of fifteen (15) feet
 - *Accessory Buildings* built on-site with a foundation are not allowed to be located in any type of easement.
 - *Accessory Buildings* on skids may be located within a utility subject to the property owner bearing responsibility for moving or removing the building should work need to be conducted in the easement



- Additional Regulations:**

- All driveways accessing *Accessory Buildings* from a Public ROW/Alley shall obtain approval from the City prior to installation of the driveway
 - All driveways accessing an *Accessory Building* shall be constructed of a concrete/asphalt surface from the front building to the Public ROW, except in Agricultural Zoning Districts
 - *Accessory Buildings* on a single property shall not singularly or in total exceed the limits allowed per **405.640.C.7**

<u>Lot Size</u>	<u>Building Size</u>
0-7,000 S.F.	500 S.F.
7,001-9,000 S.F.	780 S.F.
9,001-12,000 S.F.	950 S.F.
12,001-21,780 S.F.	1,080 S.F.

For additional regulations relating to Accessory Buildings, refer to *City Code Section 405.640 Accessory Structures*